

Additions/Remodels/Etc:

The attached Checklist is to assist you through the Building Permit Process

Please submit all of the following documents to start the Permit process

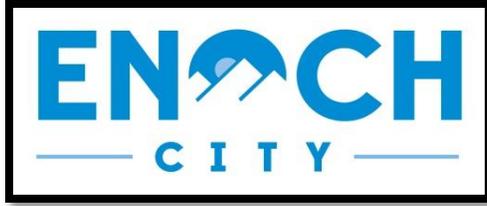
Email to: inspector@enochcity.org

- 1 set of Construction plans in PDF format.
- Completed Building permit Application.
- Asbestos Inspection Certification (for buildings constructed before 1980)
- Geotechnical Data Worksheet from Engineer
- Verify with the City Office for zoning and subdivision requirements.
- Home Energy Compliance Worksheet (if applicable)
- Owner/Builder Certification signed and notarized.

Building permit must be paid and signed prior to work commencing

Enoch city ordinance requires a dumpster and Sanitary Facilities at each construction site.

Enoch City does not enforce Codes, Covenants, & Restrictions (C.C. & R's) that might be recorded with the property where you are building. You are encouraged to discover the restrictions that might be in place by a Home Owner's Association.



Builder Inspection Checklist

435-586-1119

When calling to schedule inspections you must have your building permit number and address at the time of your request **Please allow 24-48 hours for inspections to be completed.**

- ✓ Submit all documents together to start Building permit process
- ✓ Pay fees and receive building permit (***must be done before footing inspection***)
- ✓ Temporary Power
- ✓ Footing Inspection (***Compaction Report Required for this inspection***)
- ✓ Foundation Steel
- ✓ Foundation Weatherproofing
- ✓ Stem Wall Insulation
- ✓ Under Slab Plumbing
- ✓ Slab Steel inspection
- ✓ Sewer Lateral Connection
- ✓ Request temporary water meter
- ✓ 4way (Rough Electrical, Plumbing, Mechanical, Framing, Gas)
- ✓ Gas Clearance
- ✓ Insulation
- ✓ Sheetrock Nailing
- ✓ Lath
- ✓ Culvert Inspection
- ✓ Insulation Certificate, Stucco Certificate, Final Grade Report
- ✓ Final Inspection, Date of Certificate of Occupancy

ENOCH CITY CORPORATION

ORDINANCE NO. 2006-01-18-A

AN ORDINANCE AMENDING THE CODE OF REVISED ORDINANCES OF ENOCH CITY, BY AMENDING CHAPTER 9-500; BY ADDING SECTION 9-578 REQUIRING SOLID WASTE DISPOSAL CONTAINERS AND SANITARY FACILITIES AT CONSTRUCTION SITES

WHEREAS, the Enoch City Council has had discussions concerning problems at construction sites with proper solid waste disposal and the lack of sanitary facilities;

WHEREAS, the Enoch City Council has discussed having the City Building Inspector enforce this ordinance;

NOW, THEREFORE, BE IT ORDAINED, by the Mayor and City Council of Enoch, Utah that the Revised Code of Ordinances of Enoch, Utah be amended by adding the following:

Addition of:

Section 9-578. DISPOSAL OF WASTE AND SANITARY FACILITIES AT CONSTRUCTION SITES.

A. No construction of any type shall be permitted within the city unless a bin, receptacle or other adequate enclosure is provided within one hundred feet (100') of any construction activity for the disposal of garbage, waste and construction debris of all types. Such bin, receptacle or enclosure shall be considered adequate only if it is able to fully protect its contents from being scattered or disbursed by the wind or otherwise, and it must be amenable to ready transfer of its contents to the landfill when full. Burning at construction sites shall be unlawful unless expressly made the subject of a permit by the appropriate fire authority.

B. No construction of any type shall be permitted within the city unless adequate sanitary facilities are provided at the job site and available at all times that workers are present. Such sanitary facilities shall be available within three hundred fifty feet (350') of any construction area, and in the event such facilities are already so located, the contractor shall have written consent of the owner or renter of said facility for use of same by workers on the job.

C. Failure to comply with the above stated requirements will subject the offending construction site to a "stop work" order and no progress inspections will be made by the City Building Inspector until the above stated items are in place as required above.

A motion for approval of this Ordinance was made, voted upon, and passed by the Enoch City Council at a regular city council meeting held on the 18st day of January, 2006. This ordinance shall become effective immediately upon signing by the Mayor and City Recorder.

DATED this 19st day of January, 2006.

VOTING:

ENOCH CITY CORPORATION


Robert A. Rasmussen, Mayor

Steven Clarke	Yea <input checked="" type="checkbox"/>	Nay <input type="checkbox"/>
Tyler Garfield	Yea <input checked="" type="checkbox"/>	Nay <input type="checkbox"/>
Justin Gray	Yea <input checked="" type="checkbox"/>	Nay <input type="checkbox"/>
Robert Dotson	Yea <input checked="" type="checkbox"/>	Nay <input type="checkbox"/>
Brent Taylor	Yea <input checked="" type="checkbox"/>	Nay <input type="checkbox"/>

ATTEST:


Julie Watson, Recorder

SEAL:



DEPARTMENT OF COMMERCE
Division of Occupational and
Professional Licensing
Bureau of Investigation
160 E 300 S
PO Box 146741
Salt Lake City UT 84114-6741
Email to colleengonzalez@utah.gov



OWNER/BUILDER CERTIFICATION
and
AGREEMENT TO COMPLY WITH THE
CONSTRUCTION TRADES LICENSING ACT

- New Residential Construction
 Remodel or Addition by Owner

Permit # _____

Description of Remodel or Addition _____

Name of Owner/Builder: _____

Current Address: _____

City, State, Zip: _____

LOCATION OF CONSTRUCTION SITE:

Address: _____

City, State Zip: _____

Subdivision: _____ Lot No. _____

CERTIFICATION

I, _____, certify under penalty of perjury that the following statements are true and correct and are based upon my understanding of the Utah Construction Trades Licensing Act:

1. **For New Residential Construction Only.** I am the sole owner of the property and construction project at the above described location; the project described is the only residential structure I have built this year; I have not built more than three residential structures in the past five years.

For New Residential and Remodel Construction:

2. The improvements being placed on the property are intended to be used and will be used for my personal, non-commercial, non-public use:

3. I understand that work performed on the project must be performed by the following:

- myself as the sole owner of the property; or
- a licensed contractor; or
- my employee(s) on whom I have Workers Compensation Insurance coverage, on whom I withhold and pay all required payroll taxes, and with respect to whom I comply with all other applicable employee/employer laws; or
- any other person working under my supervision as Owner/Builder to whom no compensation or only token compensation is paid; and

4. I understand that if I retain the services of an unlicensed contractor or compensate an unlicensed person, other than token compensation, or other than as an employee for wages, to perform construction services for which licensure is required, I may be guilty of a Class A Misdemeanor and may be additionally subject to an administrative fine in the maximum of \$2,000.00 for each day on which I violate the Utah Construction Trades Licensing Act.

I declare under criminal penalty under the law of Utah that the foregoing is true and correct.

Signed on the _____ day of _____, _____, at _____.

Date

Month

Year

City or other location, and state or country

Printed Name

Signature

**SUBMIT THIS FORM TO THE BUILDING DEPARTMENT TO OBTAIN
NECESSARY BUILDING PERMITS.**

Fill in Size, Type & Attachment Method Where Applicable

Roof:

Pitch- _____
 Roofing Material- _____
 Underlayment Type- _____
 Ice Barrier- _____
 Roof Sheathing Type & Size- _____
 Attic Insulation- _____
 Roof Ventilation- _____
 Truss- _____ Yes _____ NO

If No Answer The Following

Rafter Size- _____
 Rafter Spacing- _____
 Rafter Clear Span- _____
 Rafter Species- _____
 Ridge- _____
 Ceiling Joist Size- _____
 Ceiling Joist Spacing- _____
 Ceiling Joist Species- _____

Walls:

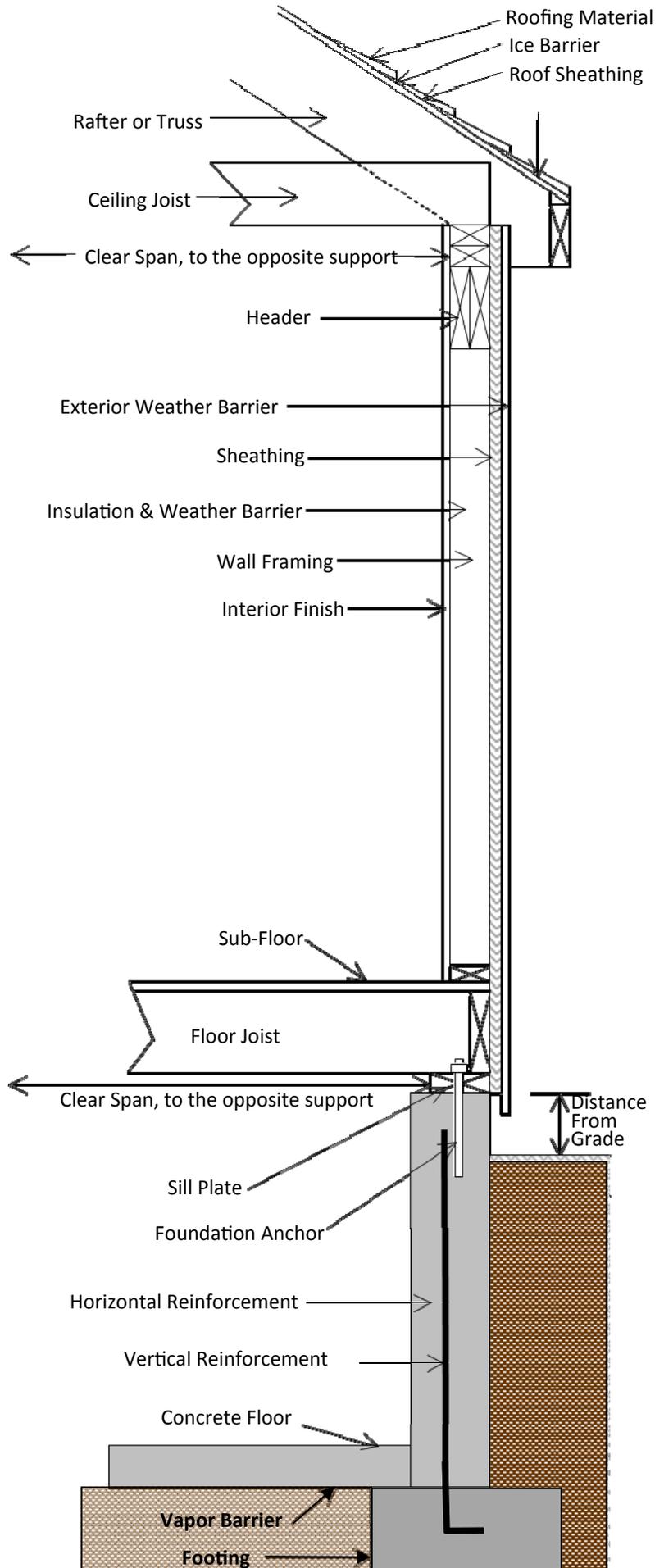
Siding Finish- _____
 Exterior Weather Barrier Type- _____
 Sheathing Type & Size- _____
 Insulation & Weather Barrier- _____
 Wall Framing Member Size- _____
 Header Sizes- _____
 Interior Finish- _____
 Ceiling Height- _____

Floor:

Sub-Floor- _____
 Floor Joist Size- _____
 Floor Joist Spacing- _____
 Floor Joist Clear Span- _____
 Floor Joist Species- _____
 Beam Type & Size- _____
 Distance From Top of Foundation to Grade- _____

Foundation:

Anchor Type Size & Spacing- _____
 Anchor Bolt Washer Size- _____
 Sill Plate Species & Size- _____
 Poured Wall Size- _____
 Block Wall Size- _____
 Vertical Reinforcement # _____
 Horizontal Reinforcement # _____
 Concrete Floor Thickness- _____
 Vapor Barrier- _____
 Column Pad Size- _____ x _____ x _____
 Column Spacing- _____
 Footing Height X Width- _____
 Footing Reinforcement- _____
 Footings Depth below Grade- _____





BUILDING PERMIT APPLICATION

Name of Applicant: _____ Date: _____

Job Address

Street Number: _____ Street name: _____

Current Zoning: _____ Subdivision: _____ Lot # _____ Block# _____

Name of Owner: _____

Address of Owner: _____

City: _____ State: _____ Zip: _____

Phone: _____ Cell: _____

Email: _____

General Contractor: _____

Address: _____

City: _____ State: _____ Zip: _____

Phone: _____ State License # _____ Email: _____

Mechanical Contractor: _____

Phone: _____ State License # _____ Email: _____

Electrical Contractor: _____

Phone: _____ State License# _____ Email: _____

Plumbing Contractor: _____

Phone: _____ State License # _____ Email: _____

For Building Permits:

Type of Construction (circle one):
RSF (Residential Single Family)
RMF (Residential Multiple Family)
COM (Commercial)
DGAR (Detached Garage)
OTHER _____

Fire Sprinkler System? : Yes _____ No _____

For New Residential Construction:

Setbacks: Front: _____ Left Side: _____ Right Side: _____ Rear: _____
of Stories: _____ # of Rooms: _____ # of Bedrooms _____ # of Baths _____
Fireplaces: _____ Chimneys: _____
Number of Buildings: _____ Sprinkler System Sq. Footage: _____

Square Footage per Floor (Including Decks):

Unfinished Basement: _____ Covered Porches: _____
1st Floor _____ Carport / Deck: _____
2nd Floor _____ Finished Basement: _____
3rd Floor _____ Garage: _____
_____ Total: _____

Additional:

Plot Plan Approval: _____ Date: _____
Conditional Use Permit: _____ Date: _____
Elevation check: _____ Date: _____
Endangered Species Habitat: _____ Date: _____

Collector Roads:

A new home that must face a collector road and cannot be faced to a residential street, must have a turn-around driveway or other means that allow vehicles to drive off the lot facing the Collector Road, as backing out of the driveway of property onto a collector road is against Enoch City Ordinance 96-06-19 C.

Minimum Height Building Pad:

The building pad should be placed at an elevation of 18 inches above the top of the grade of the road. This is to diminish a potential flooding problem that could occur in a 100-year flood scenario.

Streets:

Provisions must be made while the home is under construction to protect the street from damage due to delivery trucks or any other equipment during construction.

Final Inspection:

The final inspection on the home will include culvert, road, and bar ditch, or curb, gutter, street and sidewalk condition.

Applicants Signature:

Phone: _____ Cell
